

LOCATION



Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3. Refer to Detailed Contour Survey - RJT Surveyors

Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Driveway Design by KYSU Engineers Refer to Detailed Hydraulic Design by KYSU Engineers Refer to Landscape Design by Artscience Refer to Energy Report + Basix by BasixMAX

2025			tim+sarah .k	site ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200			
r 1,			e: info@timandsarahk.com.au W: www.timandsarahk.com.au	CLIENT DETAILS: Denise Darlow			
л Ма			PROJECT: Proposed Dual Occupancy +	sheet NAME: Siteplan 1:200		SHEET NUMBER: 1	
ISSI	DATE:	AMENDMENTS:	Torrens Title Subdivision		REFERENCE	DE:	



LOCATION



Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Part H5D3. Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Driveway Design by KYSU Engineers Refer to Detailed Hydraulic Design by KYSU Engineers Refer to Landscape Design by Artscience Refer to Energy Report + Basix by BasixMAX

2025		tim+sarah .k	site address: Lot 6, DP 222976 4 Leemon St, Condell	00	
, ,		a: Post Office Box 296 Jannali NSW 2226 e: info@timandsarahk.com.au W: www.timandsarahk.com.au	CLIENT DETAILS: Denise Darlow		
Mai		PROJECT: Proposed Dual Occupancy +	SHEET NAME: Demolition Plan 1:200		SHEET NUMBER
ISSI	DATE	Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFEREN	CE: 5



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	2025		tim+sarah .k	site address: Lot 6, DP 222976 4 Leemon St, Condell	00	
ATE:	Ľ.		a. Post Office Box 296 Jannali NSW 2226 €: info@timandsarahk.com.au W: www.timandsarahk.com.au	CLIENT DETAILS: Denise Darlow		
A	Ма		PROJECT: Proposed Dual Occupancy +	SHEET NAME: Garage Floor Plan 1:100		SHEET NUMBER
ISSI		DATE	Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFEREN	CE: 5









2			tim+sarah .k	Lot 6, DP 222976					
202			building designers interior designers	4 Leemon St, Condell Park 2200					
r 1,			a: Post Omoe Box 298 Janhaii NSW 2226 e: info@timandsarahk.com.au W: www.timandsarahk.com.au	CLIENT DETAILS: Denise Darlow					
Ma			PROJECT: Proposed Dual Occupancy +	SHEET NAME: S.W + S.E Elevation 1:10	SHEET NUMBER: 7				
	DATE:	AMENDMENTS:	Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFERENCE LEE-505	CE:			







68.450

'DALTON RESERVE'

65.750

ABSA Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A External walls: Cavity Brick plus R1.0 insulation and soil - Unit A

External walls: Cavity Brick plus K1.0 insulation and soli - Unit A External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B External walls: Cavity Brick plus R2.0 insulation and soli - Unit B Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03 Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames) Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas -Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underne other areas - Unit A First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

 Basement Floor:
 Base slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B

 Ground Floor:
 Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B

 First Floor:
 Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B

 Internal walls:
 Brick with Plasterboard

 Internal walls:
 Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas

 Internal walls:
 Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer, Bath, Laundry, Powder (x2) to surrounding areas

 Internal walls:
 Cavity Brick with plasterboard
 Onit A - Balcony areas

 Roof:
 Tiles on slab with R4.0 insulation and plasterboard - Unit A - Balcony areas

 Roof:
 Tiles on slab with R4.0 insulation and plasterboard - Unit A - Balcony areas

 Roof:
 Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas

 Roof:
 Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas

 Roof:
 Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas

DA ISSUE (A2)

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	2025			tim+sarah .k	site address: Lot 6, DP 222976 4 Leemon St, Condell Park 2200				
	r 1			thogetimandsarahk.com.au W: www.limandsarahk.com.au	CLIENT DETAILS: Denise Darlow				
	л⊟ Ма			PROJECT: Proposed Dual Occupancy +	SHEET NAME: N.W + N.E Elevation 1:100		SHEET NUMBER		
	ISSI	DATE:	AMENDMENTS:	Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFEREN	ice: 5		

Accreditation No. 100588 Property Address 4 Leemon Street, Condell

> Park NSW,2200

sorName Brian Teplicanec

Certificate No. 0009322080 Certificate No. 0009322080 Scan QR code or foliow website link for rating details. Assessor name Brian Teplicanec



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BASIX[°]Certificate

Continente	FIDJECLSUITINALY						
Building Sustainability Index www.basix.nsw.gov.au	Project name	8424	A, 4 Leemon St_02				
	Street address	4 LEEMON STREET CONDELL PARK 2200					
Multi Dwelling	Local Government Area	CAN	FERBURY-BANKSTOW	WN			
9	Plan type and plan number	Depo	sited Plan 222976				
Certificate number: 1740914M_02	Lot No.	6					
	Section no.	-					
	No. of residential flat buildings	0					
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the	Residential flat buildings: no. of dwellings	0					
commitments set out below. Terms used in this certificate, or in the commitments,	Multi-dwelling housing: no. of dwellings	2					
have the meaning given by the document entitled "BASIX Definitions" dated	No. of single dwelling houses	0					
www.basix.nsw.gov.au	Project score	_					
Secretary Date of issue: Thursday, 13 March 2025	Water	•	44	Target 40			
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.	Thermal Performance	•	Pass	Target Pass			
	Energy	~	100	Target 72			
	Materials	•	-100	Target n/a			
When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate 0009322080.							

Certificate Prepared by Name / Company Name: Max Brightwell ABN (if applicable):

Description of project

Project name	8424A, 4 Leemon St_02	Common area lawn (m ^a) 0						
Street address	4 LEEMON STREET CONDELL PARK 2200	Common area garden (m²)	0					
Local Government Area	CANTERBURY-BANKSTOWN	Area of indigenous or low water use	a of indigenous or low water use 0					
Plan type and plan number	Deposited Plan 222976	species (m ²)						
Lot No.	6	Assessor details and therm	nal loads					
Section no.	-	Assessor number 100588						
Project type		Certificate number 0009322080						
No. of residential flat buildings	0	Climate zone	56					
Residential flat buildings: no. of dwellings	0	Project score						
Multi-dwelling housing: no. of dwellings	2	Water	✓ 44	Target 40				
No. of single dwelling houses	0	Thermal Performance	V Pass	Target Pass				
Site details		Enormy						
Site area (m ²)	1255	Chergy	✓ 100	Target 72				
Roof area (m ²)	233.2	Materials	100	Terret e/e				
Non-residential floor area (m ²)	0		· 100	Taigeriva				
Residential car spaces	4							
Non-residential car spaces	0							

ng Ali - Ali Ali - Ali - Ali - Ali - Ali - Ali - HW - Ali -

no. Atternative water supply systems Size Configuration Landscape Toilet Laundry Pool top-connection connection up

(a) The applicant must comply with the commitments lated below in carrying out the development of a develing late of a table below.
 (b) The applicant must comply with the commitments lated below in carrying out the development of a develing late of a table below.
 (c) The applicant must retail each hot water system specified for the develing in the table below. So that the develing is hot water is control by the commitments lated below.
 (c) The applicant must retail each hot water system specified for the develing is the table below.
 (c) The applicant must retails the in-balance below.
 (c) The applicant must retails the abelow below.
 (c) The applicant retains the abelow below.
 (c) The applicant must retails the abelow below.
 (c) The applicant must retails the abelow abelow above the table below.
 (c) The applicant retains the abelow above the abelow above the table below.
 (c) The applicant retains the abelow above the abelow above the above the above the ab

Vidual water tank (No. Tank siza (min) 2000 0 square metres of hori at basit; 20 square metres of nor area; 20 square metres of planter box area; 20 square metres of planter box area.

 21.6
 no
 outdoors

 15
 no
 outdoors

Show on Show on CC/CDC Certifier DA plans plans & specs check

(ii) Energy

page 16/

evelopment certificate issued, for the proposed development, that BASIX commitments be complied with.		granted, or complyin	g
Commitments for multi-dwelling housing			
) Dwellings			
i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certif
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, a private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	•
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	•
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		 ✓ 	•
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		 	•
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	~	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		 	
(g) The pool or spa must be located as specified in the table.	~	 	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	•

		Concr	ete slab on gro	bund		Suspended flo	por above enclos	sed subfloor	Suspend	led floor above	open subfloor
welling no.	Area (m²)	Insulation	Low emission	Demateria s	lisation	Construction type	Area (m²)	Insulation	Constructio type	n Area (m²)	Insulation
	66.3	-	option	conventiona	il slab -					-	
other vellings	62.8	-	-	conventiona	al slab -						-
	Floor types										
	First fle roor	oor above hal ns or mezzan	oitable ine	Suspende	d floor ab	ove garage			Garage flo	or	
Dwelling	Construction	Area (m²)	Insulation	Construction	Area (m²)) Insulation	Construction	Area (m²)	Insulation	Low	Dematerialisation
no.	type	07.5		type	24.0		type	00		emissions option	
·	suspended	97.5		suspended	24.6		on ground	33		none	conventional slab
Il other wellings	concrete - suspended	104.4		concrete - suspended	24.5		concrete slab on ground	33		none	conventional slab
	External	walls									
			Externa	I wall type 1	_				xternal wall ty	/pe 2	
Dwelling no.	Wall type	• A1	rea (m²)	Insulation	Lov	w emissions ion	Wall type	Area (m²)	Insi	ulation	Low emissions option
	cavity bric	k 28	9.03	fibreglass batt	s or -		•	-	-		
Il other dwelli	ngs cavity brid	k 28	1.58	fibreglass batt	s or -		-	-	-		
	External	walls									
			Externa	I wall type 3				l.	External wall ty	/pe 4	
Dwelling no.	Wall type	a Ai	rea (m²)	Insulation	Lov	w emissions tion	Wall type	Area (m²)	Insi	ulation	Low emissions option
II dwellings	-			-			-		-		

3. Commitments for common areas and central systems/facilities for the development (non-building specific) (b) Common areas and central systems/facilities
 Water
 Show on DA plans
 Show on Plans
 Show on CVC/CDC plans
 Centifier check

 a) If, in carrying out the development, the applicant installs a showerhead, tollet, tap or clothes washer into a common area, then that isom must meet the specifications listed for it in the table.
 Image: CVC/CDC plans
 Centifier check

 b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central system" column of the table blow. In sect, set, the system must specified in the table.
 Image: CVC/CDC plans
 Image: CVC/CDC (i) Water or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. **·** r) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.
 Common area
 Showerheads rating
 Toilets rating
 Taps rating
 Clothes washers rating

 All common preas
 no common facility
 no common facility
 no common facility
 no common facility
 (ii) Energy Show on CC/CDC Certifier DA plans plans & specs check (a) If, in carrying out the development, the applicant installs a veriflation system to service a common area specified in the table below, then that verifiation system must be of the type specified for that common area, and must meet the efficiency measure specified.
 (b) in carrying out the development, the applicant must table, as the "pirms type of antificial lighting for each common area specified in the table below, the signing specified for that common area. This lighting must meet the efficiency measure specified. The exploration must be initial a certificate lighting control system to bulking Management System (MSI) to the common area, picture in the lighting control system to bulking Management System (MSI) to the common area, (c) The applicant must install the systems and futures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

A	-		-	single si masonry	kin y	119.64					ľ	-	-	
All other dwellings	-			single si masonn	un 215.47			-			ŀ	-		
											_			
	Ceiling and roo	ceiling / pitched	roof	R	Raked ceiling / pitched or skillion roof					Flat ceiling / flat roof				
Dwelling no.	Construction type	Area (m²)	Insulation	Constr type	Construction type		Area (m²) Insulatio		n Construction type		۱	Area (m²)	Insulation	
A	-	-	Ceiling:,Roof:	-	-		Ceiling:,Roo		of: concrete - plasterboard internal			115.1	Ceiling:fibreglass batts or roll,Roof: foil/ sarking	
All other dwellings	-	-	Ceiling:,Roof:	-		-		Ceiling:,Roof:		concrete - plasterboard internal		118.1	Ceiling:fibreglass batts or roll,Roof: none	
		Glazing ty	ype	Frame types										
Dwelling no.	Single glazin (m²)	g Double glaz (m²)	zing Triple g (m²)	azing	Aluminii frames (nium Timber frames s (m²) (m²)		uPV (m²)	C frames	Ste (m ²	el frames ')	Composite frames (m ²)		
A	-	79.77			79.77						-		-	
All other dwellings		63.14							63.14	1				

Central energy systems Type Specification Common area electric / ga clothes dryer rating: Common area clothes washer rating:

Description of project

Multi-dwelling houses

The tables below describe the dwellings and common areas within the project

(ii) Energ	y .				
(e) This or the tab lighting specifi lighting	ommitment applies to each ble below (but only to the g" for each such room in t ed for a particular room o g or light emitting diode (L	h room or area of the dwe extent specified for that ro he dwelling is fluorescent r area, then the light fitting ED) lighting.	lling which is referred to ir om or area). The applicar lighting or light emitting di s in that room or area mu	n a heading to the "Artific t must ensure that the "p ode (LED) lighting. If the st only be capable of beir	al lighting" colum rimary type of art term "dedicated" ng used for fluore
(f) This co the tab fitted v	mmitment applies to each ble below (but only to the with a window and/or skyli	n room or area of the dwel extent specified for that ro ght.	ling which is referred to in orn or area). The applicar	a heading to the "Natura at must ensure that each	l lighting" column such room or area
(g) This c	ommitment applies if the a	applicant installs a water h	eating system for the dwe	lling's pool or spa. The a	pplicant must:
(aa	 install the system speci any system for the por 	fied for the pool in the "Inc ol). If specified, the applica	lividual Pool" column of th nt must install a timer, to	e table below (or alternat control the pool's pump; a	ively must not ins ind
(bb	 install the system speci any system for the spa 	fied for the spa in the "Ind i). If specified, the applica	ividual Spa* column of the nt must install a timer to c	table below (or alternativ ontrol the spa's pump.	ely must not inst
(h) The ap	plicant must install in the	dwelling:			
(aa	 the kitchen cook-top an table below; 	d oven specified for that d	welling in the *Appliances	& other efficiency measu	res" column of th
(bb	 each appliance for which the table, and ensure to 	h a rating is specified for t hat the appliance has that	that dwelling in the "Applia minimum rating; and	ances & other efficiency n	easures" column
(cc	any clothes drying line s	specified for the dwelling in	the *Appliances & other	efficiency measures* colu	mn of the table.
(i) If speci ventila	fied in the table, the appli ted".	cant must carry out the de	velopment so that each re	efrigerator space in the dw	velling is "well
(j) The ap "Altern	plicant must install the ph ative energy" column of t	otovoltaic system specifie he table below, and conne	d for the dwelling under th ct the system to that dwe	e "Photovoltaic system" h lling's electrical system.	eading of the
				10.1	
	Hot water	Bathroom ven	tilation system	Kitchen vent	lation system
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation con
All dwellings	heat pump - 36 to 40 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch o
	·				

2. Commitments for single dwelling houses
(a) Dwellings
(i) Water
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a tal
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of and angligenous we to be contained within the "Area of gardnen and lawn" for the dwelling specified in the "Description of Project" table).
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure such fixture and appliance meets the rating specified for it.
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.
(e) The applicant must install:
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dw the "HW recirculation or diversion" column of the table below; and
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The app connect the hot water diversion tank to all toilets in the dwelling.
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for table below.
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).
(g) The pool or spa must be located as specified in the table.
(h) The applicant mult install, for the dwelling, each atternative water supply system, with the specified size, listed for the thre tableose. Each system must be configured to collect run-off from that areas specified (excluding any area which su- other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified to be alternative water supply system).
(ii) Energy
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a tal
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot w supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connec central system to the dwelling, so that the dwelling's hot water is supplied by that central system.
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that the table below. Each such ventilation system must have the operation control specified for it in the table.







Dwelling no. All dwellings		living areas 1-phase airconditioning - ducted / 5 star (average zone)		bedroom areas 1-phase airconditioning - ducted / 5 star (average zone)		living areas 1-phase airconditioning - ducted / 5 star (average zone)		bedroom areas 1-phase airconditioning - ducted / 5 star (average zone)			No. of bathrooms or toilets 4		Main kitchen	
										- 9			yes	
		In	dividual pool		Indiv	idual spa				Appliances of	other ef	ficiency	measures	
Dwelling no.	Pool I syste	heating m	Pool Pump	Timer	Spa heating system	T	'imer	Kitchen cooktop/or	ven	Dishwasher	Clot drys	hes r	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	no hea	iting	single speed-5 stars	yes		-		electric cool electric over	ktop &	-	-		no	yes
								Alternative	energ	×				
Dwelling p	ō.		Photovoltaic	system (min	rated electrical	Phot	tovoltai	c collector in	nstallat	ion	Orient	ation i	nputs	
D weining in			output in pea	ik kW)										
All dwellings			output in pea 0° degree to th	ik kW) e horizontal		6.6					N			
All dwellings	al Perfor	rmance and N	output in pea 0° degree to th laterials	ik kW) ie horizontal		6.6					N Show c DA plar	in S	Show on CC/CD plans & specs	C Certifier check
(iii) Therma (iii) Therma (a) The app "Assess the app must ak	al Perfor	rmance and N just attach the ficate") to the o applying for a h the Assessor	output in pea 0° degree to th Interials certificate referred sevelopment appling complying develop Certificate to the i	k kW) e horizontal I to under "Ass cation and con oment certifica application for	essor details" or struction certific le for the propos a final occupatio	6.6 the front prate application development of the control of the	bage of t tion for t ment, to e for the	this BASIX or he proposed that applicat	ertificate develop tion). The velopm	t (the coment (or, if he applicant ient.	N Show c DA plar	n s ns p	Show on CC/CD plans & specs	C Certifie check
(iii) Therma (iii) Therma (a) The app "Assess the app must all (b) The Ass	al Perfor plicant m por Certil licant is so attach pessor C	rmance and N lust attach the applying for a h the Assessor lertificate must	output in pea 0° degree to th taterials certificate referred sevelopment applic complying develop Certificate to the is have been issued	k kW) e horizontal to under "Ass cation and con ment certifica application for by an Accred	essor details" or struction certific le for the propos a final occupatic ited Assessor in	6.6 the front plate application development of the front plate application of the front plate accordance of the front plate ac	bage of t tion for t e for the e with th	this BASIX ce he proposed that applical proposed de the Thermal C	ertificate develop tion). Th evelopm omfort I	e (the prent (or, if eapplicant ent. Protocol.	N Show o DA plan	in S ns p	Show on CC/CD plans & specs	C Certifier check
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(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, infor at least 1 kingbedroom area of the dwelling. If no cooling or having system is specified both an ar condicing system, then the system must provide to driving the system is appendixed both an arcondicing system, then the system must provide to driving areas and bedrooms. The system is specified both an ar condicing system, then the system must provide to driving areas and bedrooms. The specified both and are condicing system, then the system must provide to driving areas and bedrooms. The specified both areas and bedrooms areas of the dwelling which is inferred to in a heading to the "Athicial lighting" column to be short specified for the neglicity must areas that the "primary by or all reliable before" is applicable to area used the dwelling which is inferred to in a heading to the "Athicial lighting" columns of the specified both areas and the dwelling or light emitting dode (LED) lighting. If the term "dedicated" is specified to areas the or areas, then the lighting.

Ighting or light emiting dode (LED) lighting. (I) This committent applies to each incom or area of the develling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is finded with a window and/or skylight. (g) This commitment applies if the applicant installs a water heading system for the dwelling's pool or spa. The applicant must:

(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). It specified, the applicant must install a timer, to control the pool's pump; and (bi) install the ystem specified for the gain ihe Individual Sga' column of the table below (or install any system for the spa). It specified, the applicant must install a timer to control the spa's pump.

(aa) the kitchen cock-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;

(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and

(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.

(iii) Thermal Vertiging Contains of the state between, the Control of the system to this of where it were a weak the system.
 (iii) The applicant must attach the conflicate referred to under "Assessor details" on the front page of this BASIX conflicate (the 'Assessor Certificate) to the development application and construction certificate application for the proposed development (or, if the applicant must attach the Assessor Certificate referred to under "Assessor details" on the front page of this BASIX certificate (the 'Assessor Certificate is applying the development certificate for the proposed development, the that application. The application for a final occupation certificate for the proposed development.



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BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1740914M_02 Thursday, 13 March 2025 page 14/18 BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1740914M_02 Thursday, 13 March 2025 page 14/18 BASIX

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(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

policant must show on the plans accompanying the application for a construction certificate (or complying development cate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.

uct the floors and walls of the development in accordance with the specifications listed in the table below

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(ii) Energy

(h) The applicant must install in the dwelling:



ABSA Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

(i) If specified in the table, the applicant must carry out the development to that each retrigerator space in the develing is "well
 ventilated".
 (i) The applicant must carry out the development to that each retrigerator space in the develing is "well
 ventilated".
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External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)
Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A
Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to al other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2)
surrounding areas
Internal walls: Cavity Brick with plasterboard
Root: Tiles on skib with RZ.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Thes on state with R4-0 insulation and plasterboard - Onit B - Balcony areas

ISSUE DATE: Mar 1, 2025		tim+sarah .k	site ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200 CLIENT DETAILS: Denise Darlow			
		es: info@timandsarahk.com.au W: www.timandsarahk.com.au				
		PROJECT: Proposed Dual Occupancy +	SHEET NAME: Basix Commitments		SHEET NUMBER: 10	
	DATE	Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFERENCE	CE:	

Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Part H5D3. Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Driveway Design by KYSU Engineers Refer to Detailed Hydraulic Design by KYSU Engineers Refer to Landscape Design by Artscience Refer to Energy Report + Basix by BasixMAX DP222976 853.6m² (By DP) 751.4m² (By Calculation)

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229,4013 0824013 1 222976

41.81

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375.70 m²

375.68 m²

DA ISSUE (A2)

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ISSUE DATE: Mar 1, 2025		tim+sarah .k	site address: Lot 6, DP 222976 4 Leemon St, Condell F	Park 220	00
		a: Post Office Box 299 Jannail NSW 2226 e: info@timandsarahk.com.au W: www.timandsarahk.com.au	CLIENT DETAILS: Denise Darlow		
		PROJECT:	SHEET NAME: Subdivision Plan(Prelim)	1:200	SHEET NUMBER
		Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFEREN	CE: 5



Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA

Part H5D3. Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Contour Survey - RJT Surveyors Refer to Detailed Driveway Design by KYSU Engineers Refer to Detailed Hydraulic Design by KYSU Engineers Refer to Landscape Design by Artscience Refer to Energy Report + Basix by BasixMAX

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	tim+sarah .k	site address: Lot 6, DP 222976 4 Leemon St, Condell Park 2200				
	a: Post Office Box 298 Jannali: NSW 2226	CLIENT DETAILS:				
	e. imo@umanosarank.com.au w. www.umanosarank.com.au	Denise Darlow				
		SHEET NAME: Erosion & Sediment Conti	SHEET NUMBER: 12			
	Torrens Title Subdivision	LGA: Canterbury-Bankstown	REFEREN	CE:		

ue date: Mar 1, 2025

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AMENDMENTS:



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