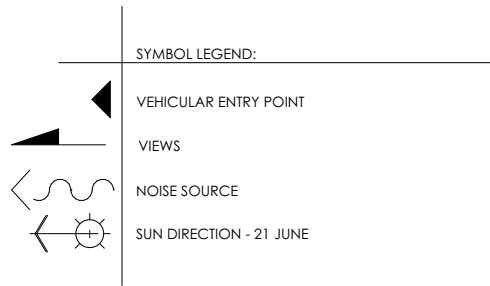
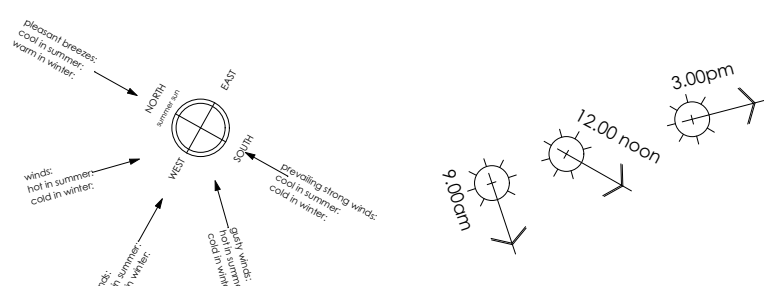




LOCATION



ABSA Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

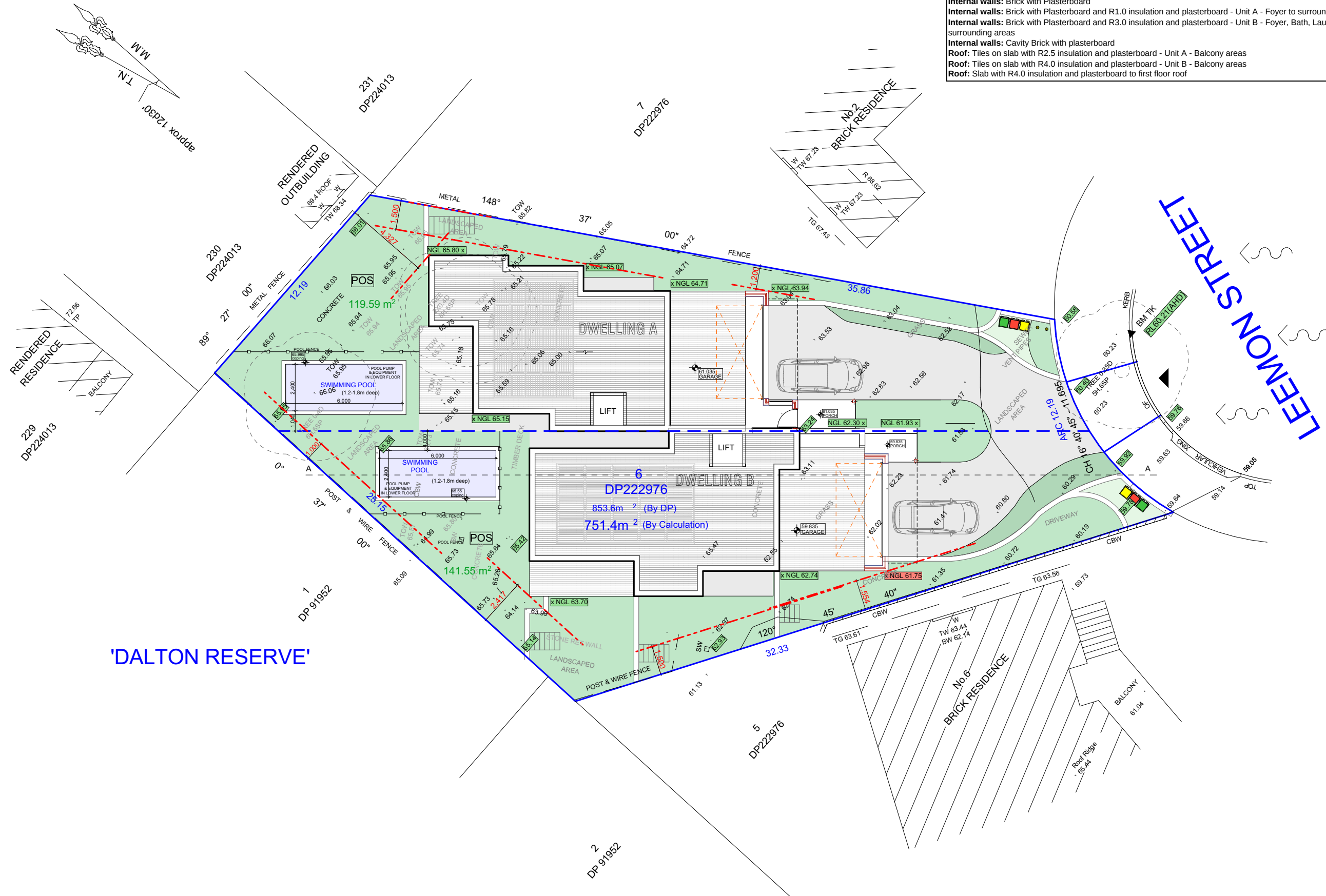
Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

Certificate No. 0009322080

Assessor name Brian Topicanec

Accreditation No. 100588

Property Address 4 Leemon Street, Condell Park
NSW, 2200



Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

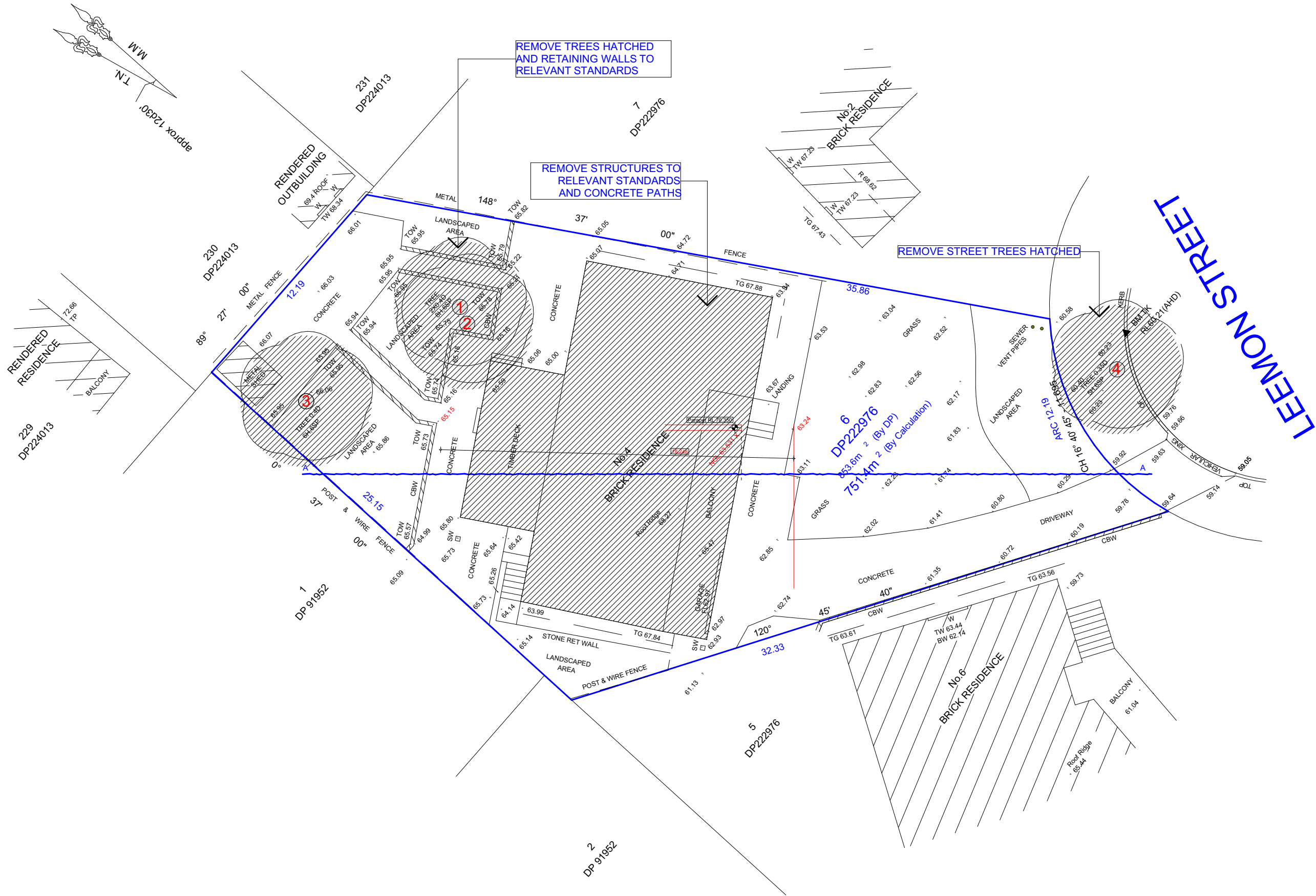
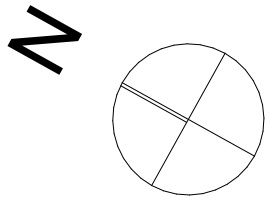
Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
Refer to Landscape Design by Artsience
Refer to Energy Report + Basix by BasixMAX

DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025			tim+sarah .k Trading as: tim+sarah .k tim+sarah .k 4 Post Office Box 288 Leemon NSW 2200 E: info@timandsarahk.com.au W: www.timandsarahk.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200	
				CLIENT DETAILS: Denise Darlow	
				SHEET NAME: Siteplan 1:200	SHEET NUMBER: 1
				LGA: Canterbury-Bankstown	REFERENCE: LEE-505
		DATE:	AMENDMENTS:		PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision



LOCATION



Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

- Refer to Detailed Contour Survey - RJT Surveyors
- Refer to Detailed Driveway Design by KYSU Engineers
- Refer to Detailed Hydraulic Design by KYSU Engineers
- Refer to Landscape Design by Artsience
- Refer to Energy Report + Basix by BasixMAX

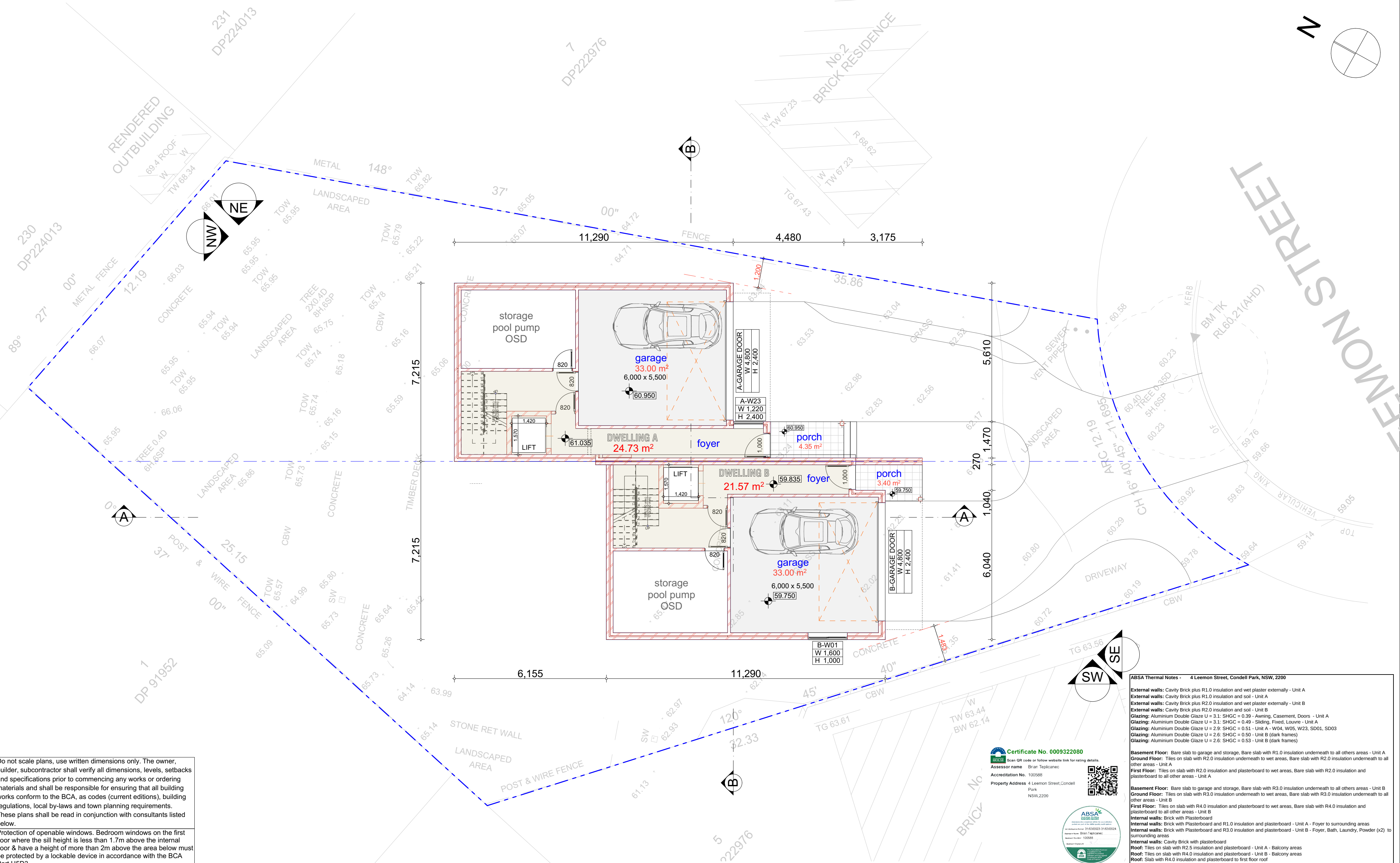
DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025			tim+sarah .k Building Designers Interior Designers 4/ Post Office Box 298 Leeton, NSW 2228 ✉ sarah@timandsarahk.com.au www.timandsarahk.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200	
				CLIENT DETAILS: Denise Darlow	
				SHEET NAME: Demolition Plan 1:200	
				SHEET NUMBER: 2	
				LGA: Canterbury-Bankstown	REFERENCE: LEE-505
	DATE:	AMENDMENTS:	PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision		

Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
Refer to Landscape Design by Artsience
Refer to Energy Report + Basix by BasixMAX



Certificate No. 0009322080
Assessor name: Brian Tepicanec
Accreditation No. 100588
Property Address: 4 Leemon Street, Condell Park, NSW 2200



ABSAR Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
Glazing: Aluminium Double Glaze U = 3.1; SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1; SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9; SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6; SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6; SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B

Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to Surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

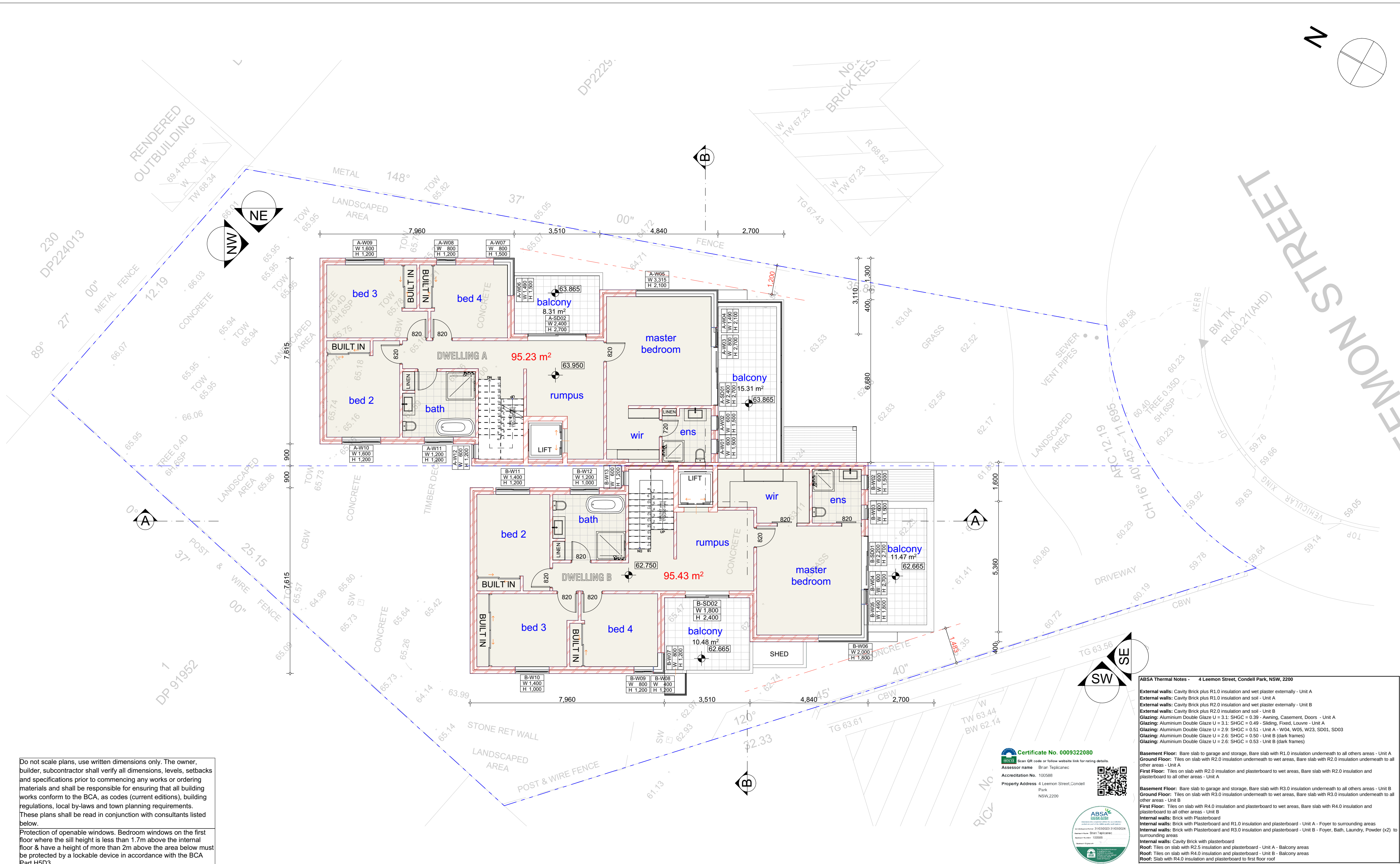
DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025	tim+sarah .k		SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200	
	PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision		CLIENT DETAILS: Denise Darlow	
	SHEET NAME: Garage Floor Plan 1:100		SHEET NUMBER: 3	
	LGA: Canterbury-Bankstown		REFERENCE: LEE-505	

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Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
Refer to Landscape Design by Artsience
Refer to Energy Report + Basix by BasixMAX



Certificate No. 0009322080

Assessor name Bran Tepicanec
Accreditation No. 100588
Property Address 4 Leemon Street, Condell Park
NSW 2200



ABSAR Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to Surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025			tim+sarah .k Building Designers Interior Designers 4 Post Office Box 286 Jarrahdale NSW 2200 E: info@timandsarah.com.au W: www.timandsarah.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200		
				CLIENT DETAILS: Denise Darlow		
				SHEET NAME: Ground Floor Plan 1:100		SHEET NUMBER: 4
				LGA: Canterbury-Bankstown		REFERENCE: LEE-505
				PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision		
	DATE:	AMENDMENTS:				

Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
Refer to Landscape Design by Artsience
Refer to Energy Report + Basix by BasixMAX

DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025				tim+sarah .k Building Designers Interior Designers 4 Post Office Box 286 Leeton, NSW 2205 ✉ info@timandsarah.k.au www.timandsarah.k.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200		
					CLIENT DETAILS: Denise Darlow		
					SHEET NAME: First Floor Plan 1:100		SHEET NUMBER: 5
					LGA: Canterbury-Bankstown		REFERENCE: LEE-505
					PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision		
	DATE:	AMENDMENTS:					

Certificate No. 0009322080
Assessor name: Brian Tepicanec
Accreditation No. 100588
Property Address: 4 Leemon Street, Condell Park NSW 2200



ABSAR Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1; SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1; SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9; SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6; SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6; SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to Surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

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Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
Refer to Landscape Design by Artsience
Refer to Energy Report + Basix by BasixMAX

Certificate No. 0009322080
Assessor name: Brian Tepicanec
Accreditation No. 100588
Property Address: 4 Leemon Street, Condell Park NSW 2200



ABSAR Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all other areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A
Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all other areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to Surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

ISSUE DATE: Mar 1, 2025			 Building Designers • Interior Designers 4/ Post Office Box 284, Lanevale NSW 2228 E info@timersarah.com.au W www.timersarah.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200		
				CLIENT DETAILS: Denise Darlow		
				SHEET NAME: Roof Plan 1:100		SHEET NUMBER: 6
				LGA: Canterbury-Bankstown	REFERENCE: LEE-505	
				PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision		
	DATE:	AMENDMENTS:				

DA ISSUE (A2)



External walls: Cavity Brick plus R1.0 insulation and wet plaster external - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster external - Unit B
External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Ground Floor: Tiles on slab to garage and storage. Bare slab with R2.0 insulation underneath to all other areas - Unit B
Basement Floor: Tiles on slab with R3.0 insulation underneath to wet areas. Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas. Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

DA ISSUE (A2)

tim+sarah .k

PROJECT:
Proposed Dual Occupancy +
Torrens Title Subdivision

SITE ADDRESS:
Lot 6, DP 222976
4 Leemon St, Condell Park 2200

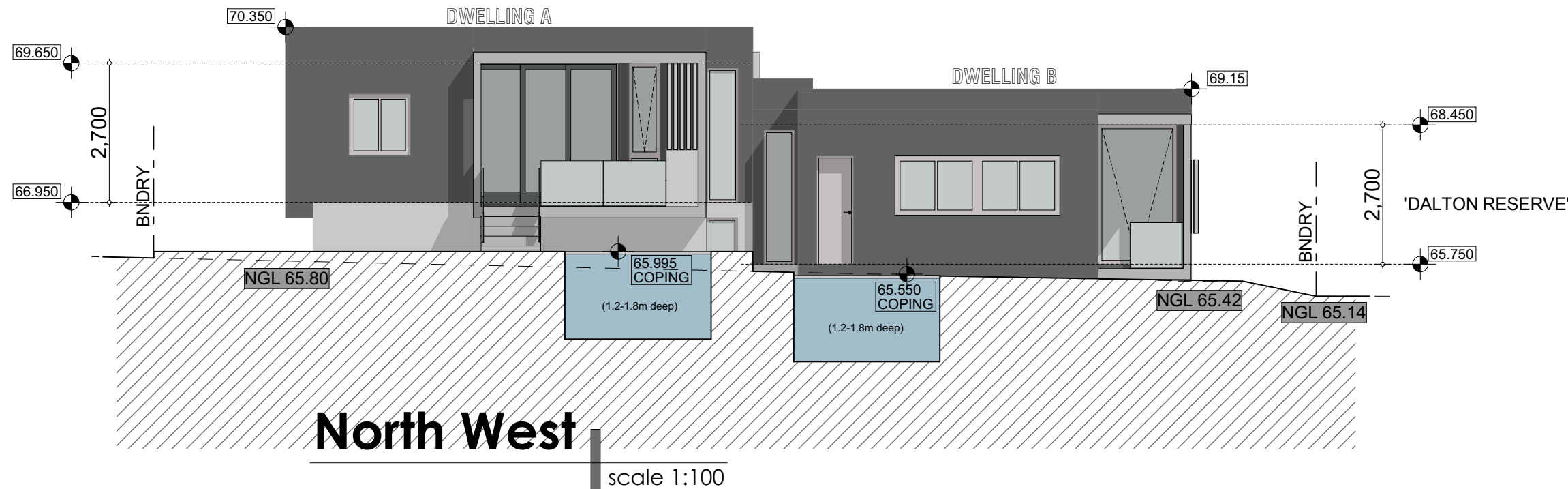
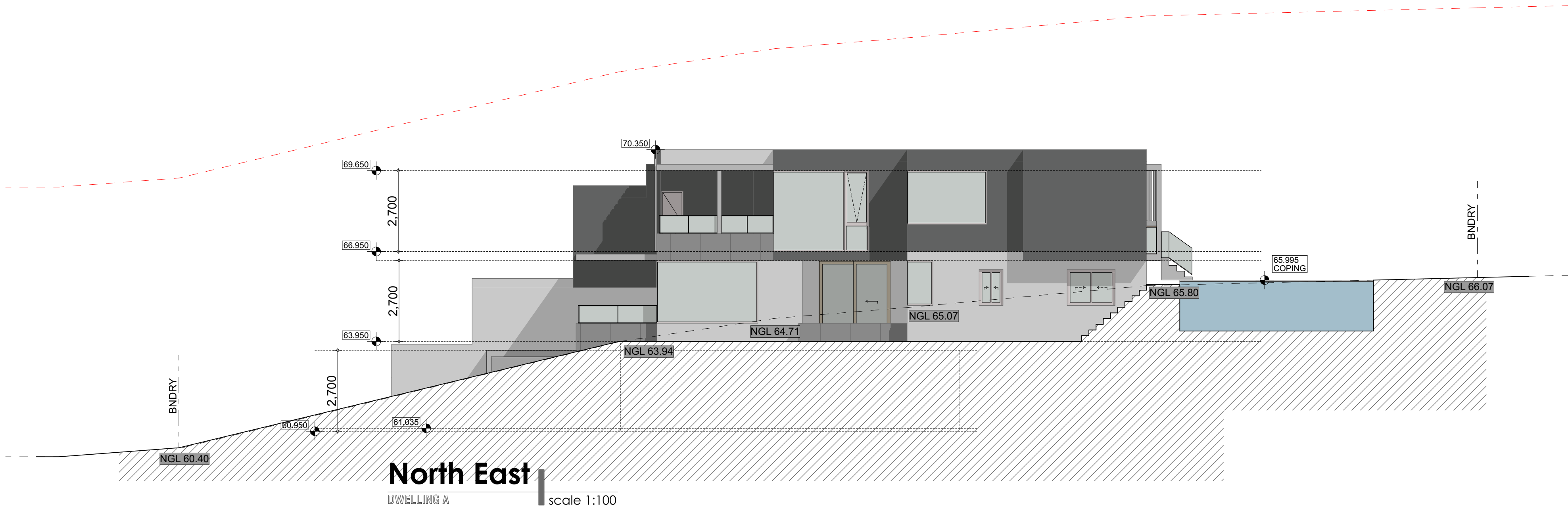
CLIENT DETAILS:
Denise Darlow

SHEET NAME:
S.W + S.E Elevation 1:100

LGA:
Canterbury-Bankstown

	SHEET NUMBER
	7

REFERENCE:
LEF-505



Certificate No. 0009322080
Assessor name: Brian Tepicanec
Accreditation No.: 100588
Property Address: 4 Leemon Street, Condell Park, NSW 2200

Scan QR code or follow website link for rating details.

ABSARAH
Building Design & Construction
4 Leemon Street, Condell Park, NSW 2200
Phone: 02 9500 0000
Email: info@timandsarah.com.au
Website: www.timandsarah.com.au

ABSARAH Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to Surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

ISSUE DATE: Mar 1, 2025			tim+sarah .k Building Design Interior Design 4, Post Office Box 268, Denistown, NSW 2202 ✉ info@timandsarah.com.au 🌐 www.timandsarah.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200		
				CLIENT DETAILS: Denise Darlow		
				SHEET NAME: N.W + N.E Elevation 1:100		SHEET NUMBER: 8
				LGA: Canterbury-Bankstown		REFERENCE: LEE-505
				PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision		
	DATE:	AMENDMENTS:				

DA ISSUE (A2)



section BB
scale 1:100

Certificate No. 0009322080
Assessor name: Brian Tepicanec
Accreditation No. 100588
Property Address: 4 Leemon Street, Condell Park, NSW, 2200

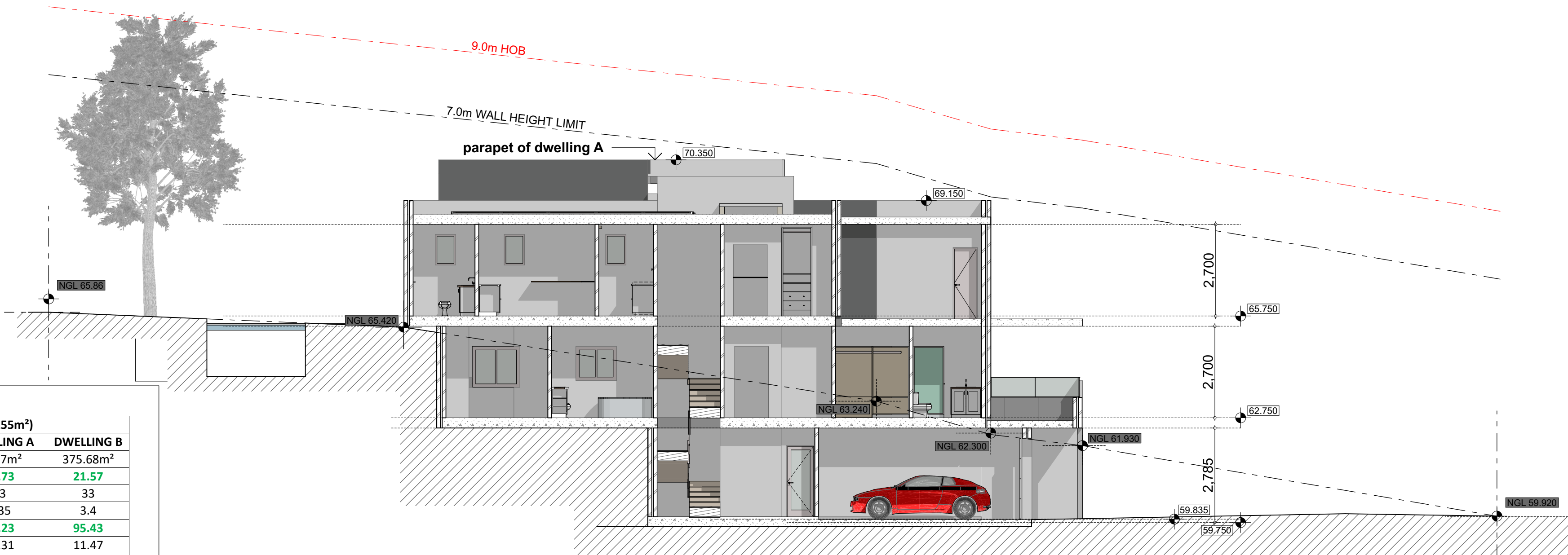


ABSAR Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
External walls: Cavity Brick plus R2.0 insulation and wet plaster externally - Unit B
External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
Glazing: Aluminium Double Glaze U = 2.9: SHGC = 0.51 - Unit A - W04, W05, W23, SD01, SD03
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.53 - Unit B (dark frames)

Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
Internal walls: Brick with Plasterboard
Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
Internal walls: Brick with Plasterboard and R3.0 insulation and plasterboard - Unit B - Foyer, Bath, Laundry, Powder (x2) to surrounding areas
Internal walls: Cavity Brick with plasterboard
Roof: Tiles on slab with R2.5 insulation and plasterboard - Unit A - Balcony areas
Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof



section AA
scale 1:100

CALCULATIONS (TOTAL SITE AREA 1,255m ²)		
FSR CALCULATIONS	DWELLING A	DWELLING B
	375.7m ²	375.68m ²
BASEMENT	24.73	21.57
GARAGE	33	33
PORCH	4.35	3.4
GROUND FLOOR	95.23	95.43
GROUND FLOOR FRONT BALCONY	15.31	11.47
GROUND FLOOR SIDE BALCONY	8.31	10.36
FIRST FLOOR	67.75	70.85
FIRST FLOOR REAR BALCONY	12.49	20.09
FIRST FLOOR FRONT BALCONY	12.48	15.9
TOTAL GFA	273.65	282.07
FSR (21.57+98.36+65.49) 187.71÷375.7	50.00%	
FSR (21.57+99.21+66.77) 187.85÷375.68		50.00%

CALCULATIONS

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Building Designers | Interior Designers
100 Pitt Street, Sydney, NSW 2000
P.O. Box 100, Sydney, NSW 2000
info@timandsarah.com.au | www.timandsarah.com.au

PROJECT:
Proposed Dual Occupancy +
Torrens Title Subdivision

SITE ADDRESS:
Lot 6, DP 222976
4 Leemon St, Condell Park 2200

CLIENT DETAILS:
Denise Darlow

SHEET NAME:
Sections 1:100 & Calcs

LGA:
Canterbury-Bankstown

SHEET NUMBER:
9

REFERENCE:
LEE-505

DA ISSUE (A2)

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au.

Secretary
Date of issue: Thursday, 13 March 2025
This certificate is to be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NABERS certificate 0009322080.

Project summary			
Project name	B2/AA, 4 Leemon St, 02		
Street address	4 LEMON STREET CONDELL PARK 2200		
Local Government Area	CANTERBURY-BANKSTOWN		
Plan type and plan number	Deposited Plan: 222976		
Lot No.	6		
Section no.	-		
No. of residential for buildings	0		
Residential for buildings no. of dwellings	0		
Multi-dwelling housing no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 44		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 100		Target 72
Materials	✓ 100		Target n/a

Certificate Prepared by		
Name / Company Name	Max Inghram	
ABN (if applicable)		

Description of project

Project address		Common area landscape	
Project name	B2/AA, 4 Leemon St, 02	Common area lawn (m²)	0
Street address	4 LEMON STREET CONDELL PARK 2200	Common area garden (m²)	0
Local Government Area	CANTERBURY-BANKSTOWN	Area of indigenous or low water use species (m²)	0
Plan type and plan number	Deposited Plan: 222976	Assessor details and thermal loads	
Lot No.	6	Assessor number	100968
Section no.	-	Certificate number	0009322080
Project type	-	Climate zone	5a
No. of residential for buildings	0	Project score	
Residential for buildings no. of dwellings	0	Water	✓ 44 Target 40
Multi-dwelling housing no. of dwellings	2	Thermal Performance	✓ Pass Target Pass
No. of single dwelling houses	0	Energy	✓ 100 Target 72
Site details		Materials	✓ 100 Target n/a
Site area (m²)	1295		
Roof area (m²)	293.2		
Non-residential floor area (m²)	0		
Residential car spaces	4		
Non-residential car spaces	0		

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Schedule of BASIX commitments

- Commitments for multi-dwelling housing
 - (a) Dwellings
 - (i) Water
 - (ii) Thermal Performance and Materials
- Commitments for single dwelling houses
 - (a) Dwellings
 - (i) Water
 - (ii) Thermal Performance and Materials
- Commitments for common areas and central systems/facilities for the development (non-building specific)
 - (a) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Floor types	Concrete slab on ground	Suspended floor above enclosed subfloor	Suspended floor above open subfloor
Dwelling no.	Area (m²)	Insulation	Low emissions option
A	66.3	-	-
All other dwellings	62.8	-	-

Internal walls	Internal wall type 1	Internal wall type 2
Dwelling no.	Wall type	Area (m²)
A	-	-
All other dwellings	-	-

2. Commitments for single dwelling houses

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

Dwelling no.	Water use (m³/yr)	Thermal load (m²/yr)	Energy use (m³/yr)	Materials use (m³/yr)
A	41.172	15.6	138.0	0
B	41.172	15.6	140.4	0

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

Common areas and central systems/facilities	Water	Thermal Performance	Energy	Materials
(a) Water	✓	✓	✓	✓
(b) Thermal Performance	✓	✓	✓	✓
(c) Energy	✓	✓	✓	✓
(d) Materials	✓	✓	✓	✓

Central energy systems	Type	Specification
Other	Common area electric / gas clothes dryer rating	-

Notes	1	2	3	4	5	6
1	In these commitments, "applicant" means the person carrying out the development.					
2	The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate or complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.					
3	This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or development, apply only to that part of the building or development to be used for residential purposes.					
4	If this certificate lists a central system as a commitment for a dwelling or building, then the system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).					
5	If a star or other rating is specified in a commitment, this is a minimum rating.					
6	All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: Storm water does not constitute hot water, recycled water or grey water and is not to be used to irrigate unless plants which are consumed raw, or that constitute the food for human consumption in areas with potable water supply.					

ABS Thermal Notes - 4 Leemon Street, Condell Park, NSW, 2200

External walls: Cavity Brick plus R1.0 insulation and wet plaster externally - Unit A
External walls: Cavity Brick plus R1.0 insulation and soil - Unit A
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External walls: Cavity Brick plus R2.0 insulation and soil - Unit B
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.39 - Awning, Casement, Doors - Unit A
Glazing: Aluminium Double Glaze U = 3.1: SHGC = 0.49 - Sliding, Fixed, Louvre - Unit A
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Glazing: Aluminium Double Glaze U = 2.6: SHGC = 0.50 - Unit B (dark frames)
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Basement Floor: Bare slab to garage and storage, Bare slab with R1.0 insulation underneath to all others areas - Unit A
Ground Floor: Tiles on slab with R2.0 insulation underneath to wet areas, Bare slab with R2.0 insulation underneath to all other areas - Unit A
First Floor: Tiles on slab with R2.0 insulation and plasterboard to wet areas, Bare slab with R2.0 insulation and plasterboard to all other areas - Unit A

Basement Floor: Bare slab to garage and storage, Bare slab with R3.0 insulation underneath to all others areas - Unit B
Ground Floor: Tiles on slab with R3.0 insulation underneath to wet areas, Bare slab with R3.0 insulation underneath to all other areas - Unit B
First Floor: Tiles on slab with R4.0 insulation and plasterboard to wet areas, Bare slab with R4.0 insulation and plasterboard to all other areas - Unit B
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Internal walls: Brick with Plasterboard and R1.0 insulation and plasterboard - Unit A - Foyer to surrounding areas
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Roof: Tiles on slab with R4.0 insulation and plasterboard - Unit B - Balcony areas
Roof: Slab with R4.0 insulation and plasterboard to first floor roof

ISSUE DATE:
Mar 1, 2025

DATE:

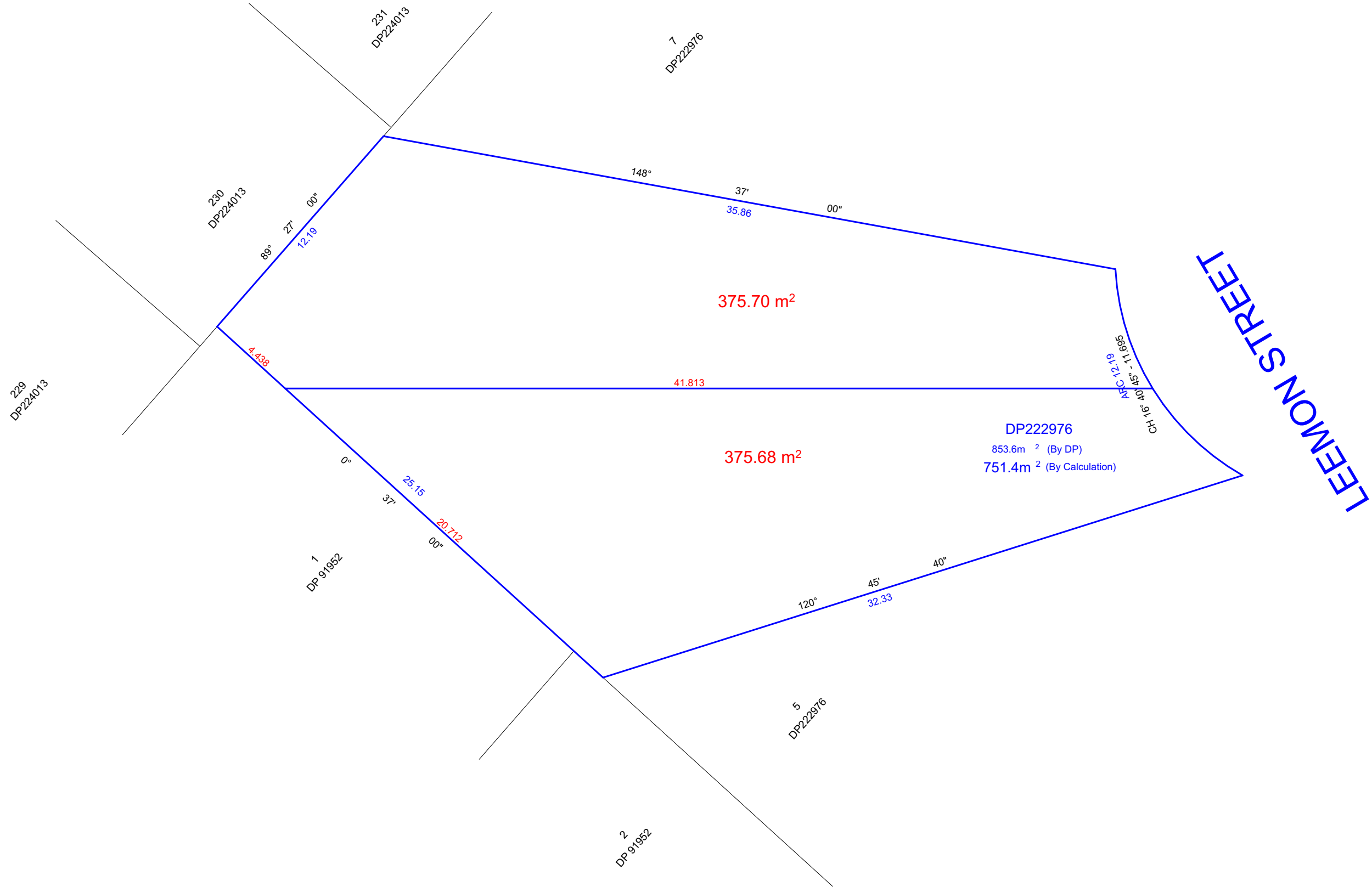
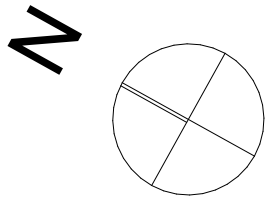
AMENDMENTS:

PROJECT:
Proposed Dual Occupancy +
Torrens Title Subdivision

SHEET NAME:
Basix Commitments
LGA:
Canterbury-Bankstown

SHEET NUMBER:
10
REFERENCE:
LEE-505

DA ISSUE (A2)



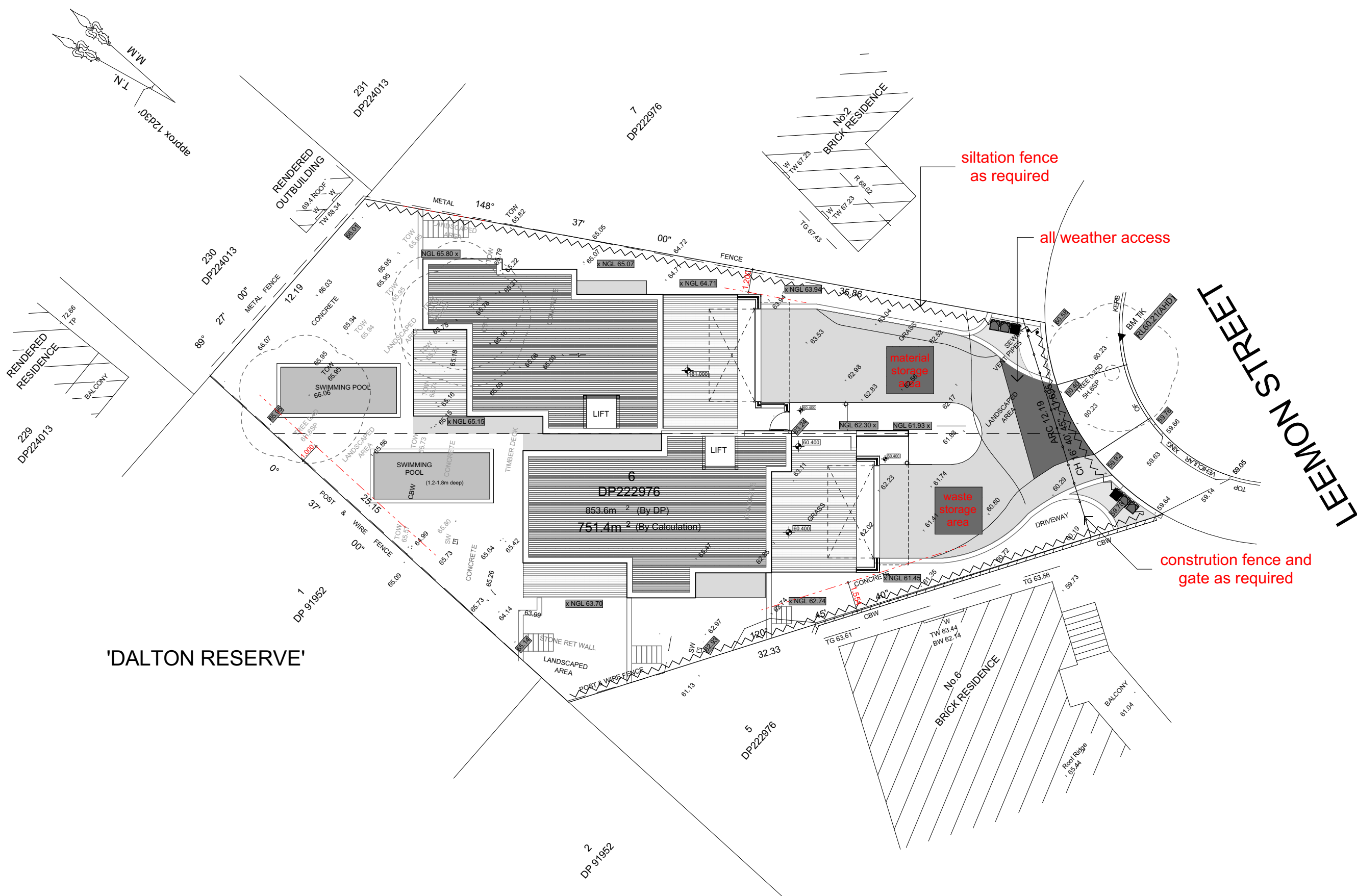
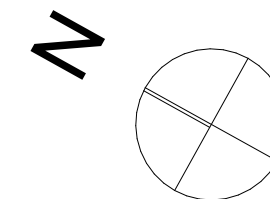
Do not scale plans, use written dimensions only. The owner, builder, subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing any works or ordering materials and shall be responsible for ensuring that all building works conform to the BCA, as codes (current editions), building regulations, local by-laws and town planning requirements. These plans shall be read in conjunction with consultants listed below.

Protection of openable windows. Bedroom windows on the first floor where the sill height is less than 1.7m above the internal floor & have a height of more than 2m above the area below must be protected by a lockable device in accordance with the BCA Part H5D3.

Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
Refer to Landscape Design by Artscience
Refer to Energy Report + Basix by BasixMAX

DA ISSUE (A2)

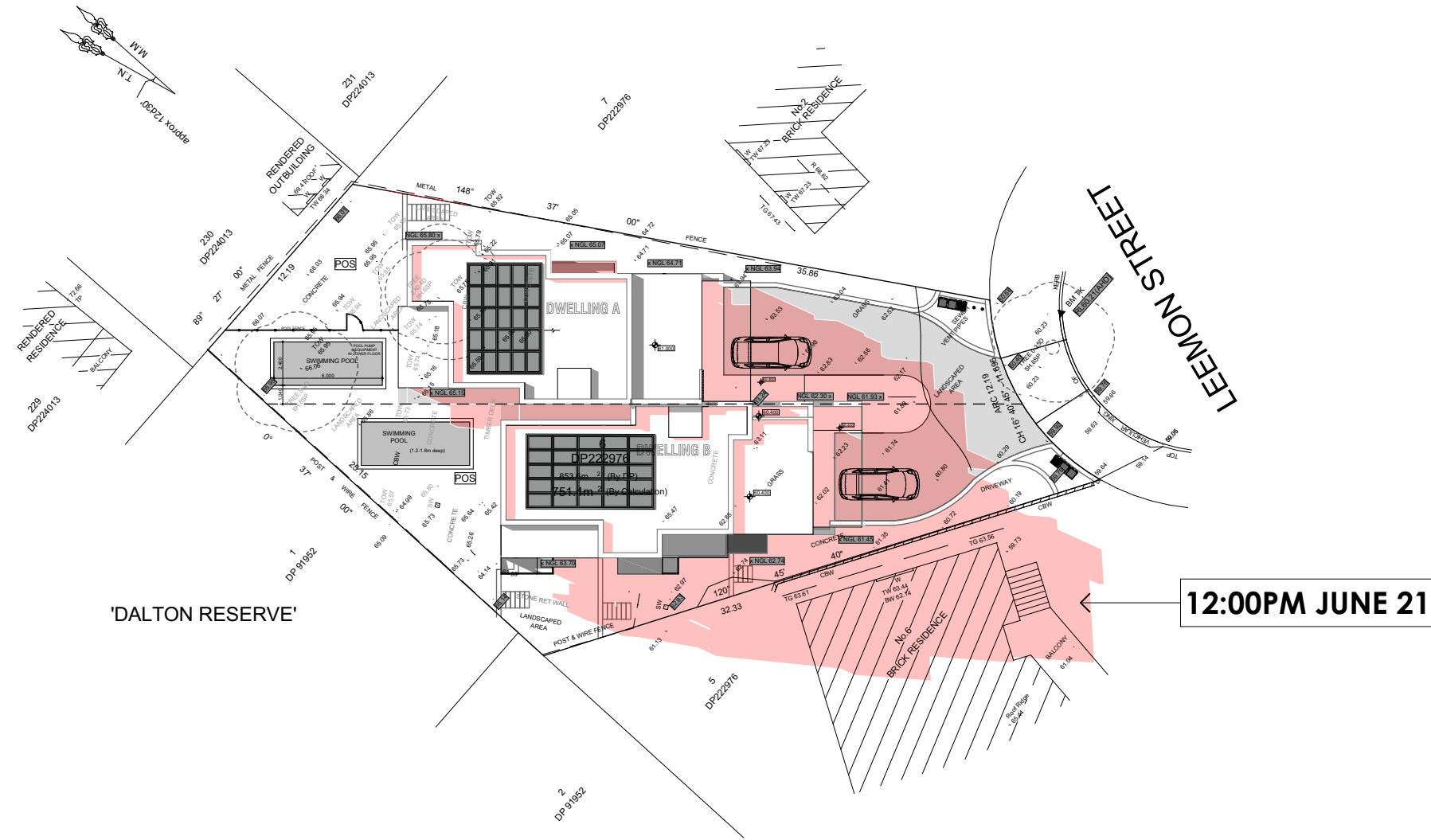
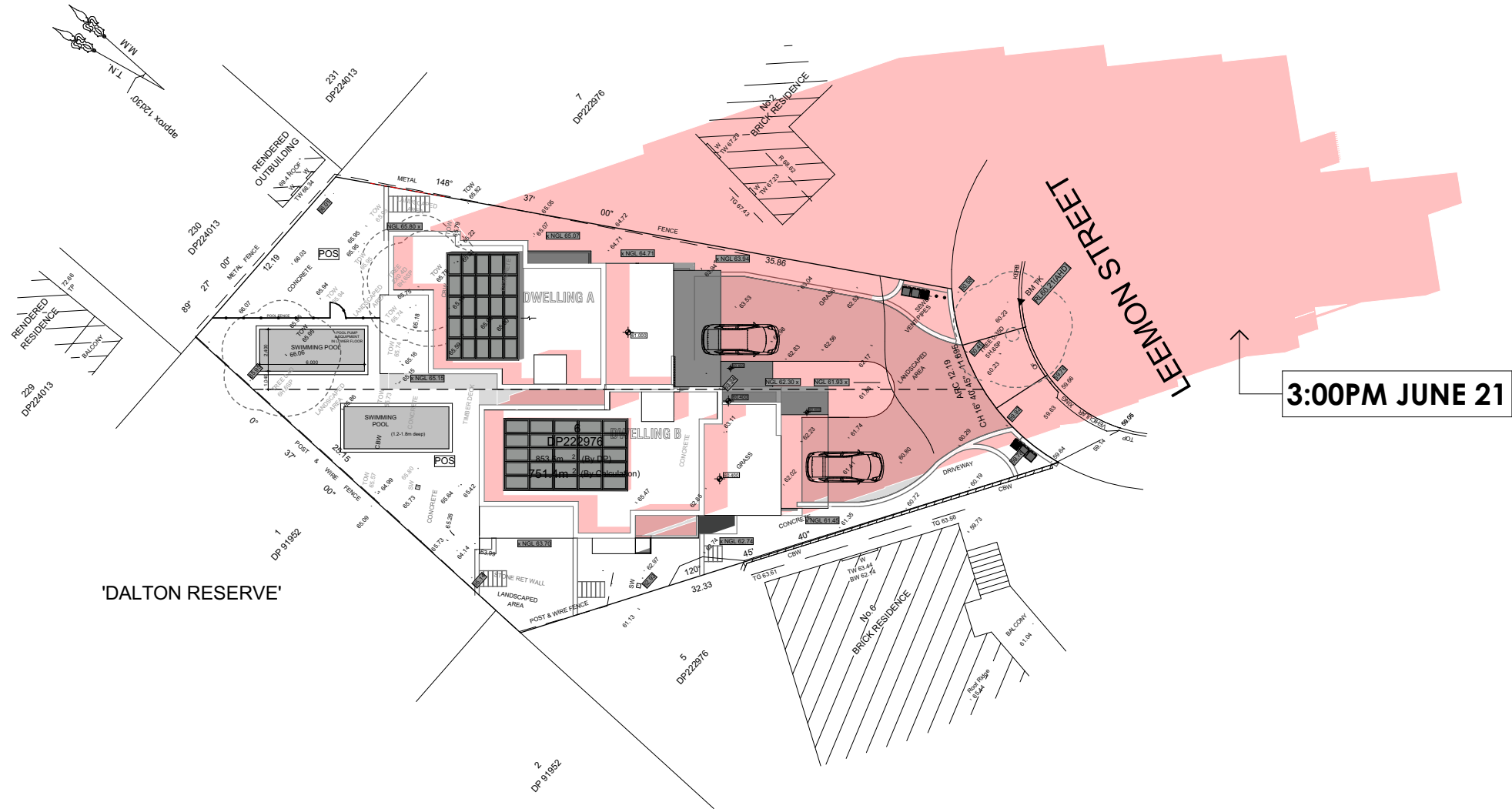
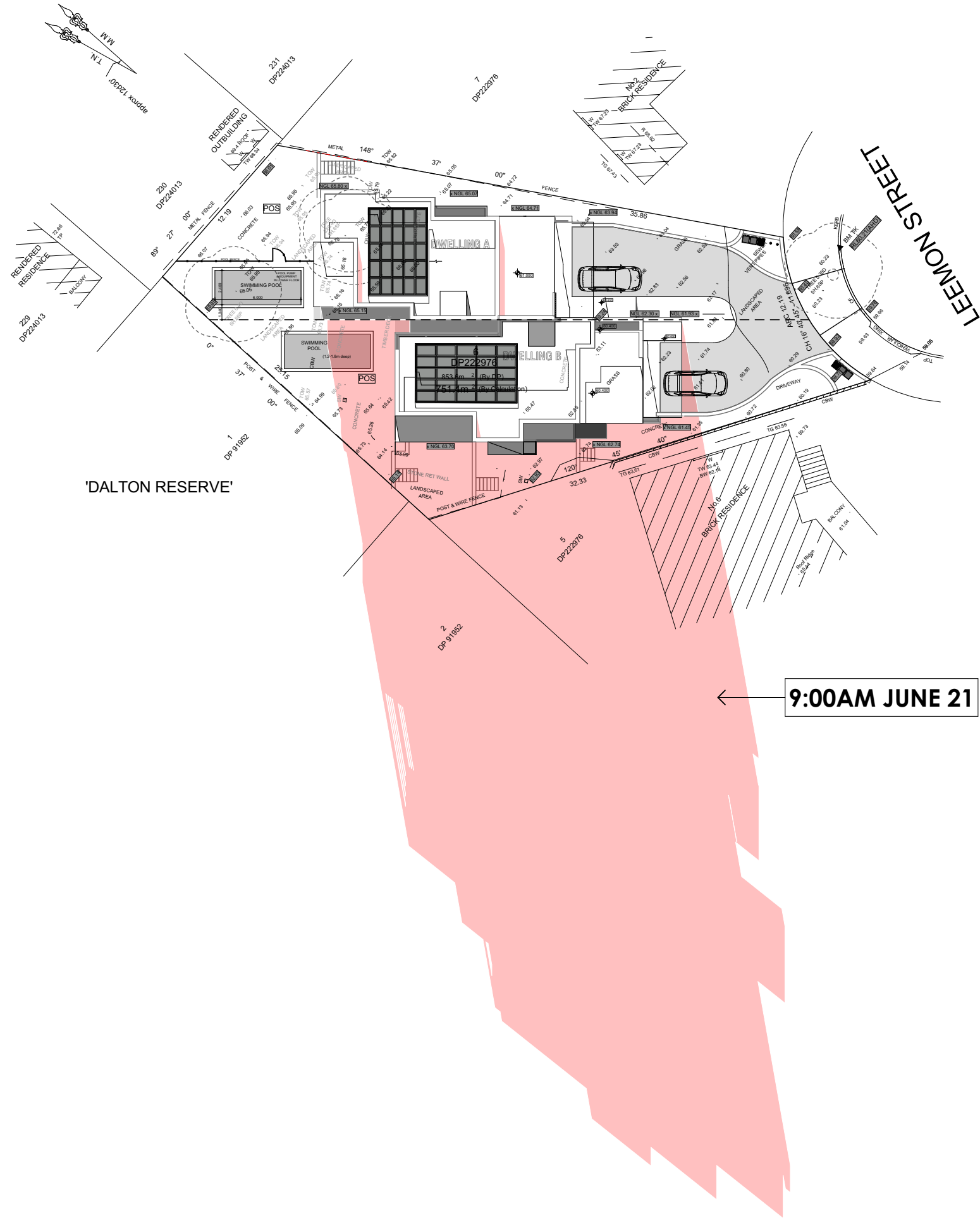
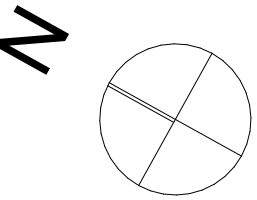
ISSUE DATE: Mar 1, 2025			tim+sarah .k Building Design Interior Design 41 Peel Office Bldg 288 Leemans NSW 2225 E: info@timandsarah.com.au W: www.timandsarah.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200	
				CLIENT DETAILS: Denise Darlow	
				SHEET NAME: Subdivision Plan(Prelim) 1:200	SHEET NUMBER: 11
				LGA: Canterbury-Bankstown	REFERENCE: LEE-505
				PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision	
	DATE:	AMENDMENTS:			



Refer to Detailed Contour Survey - RJT Surveyors
Refer to Detailed Driveway Design by KYSU Engineers
Refer to Detailed Hydraulic Design by KYSU Engineers
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Refer to Energy Report + Basix by BasixMAX

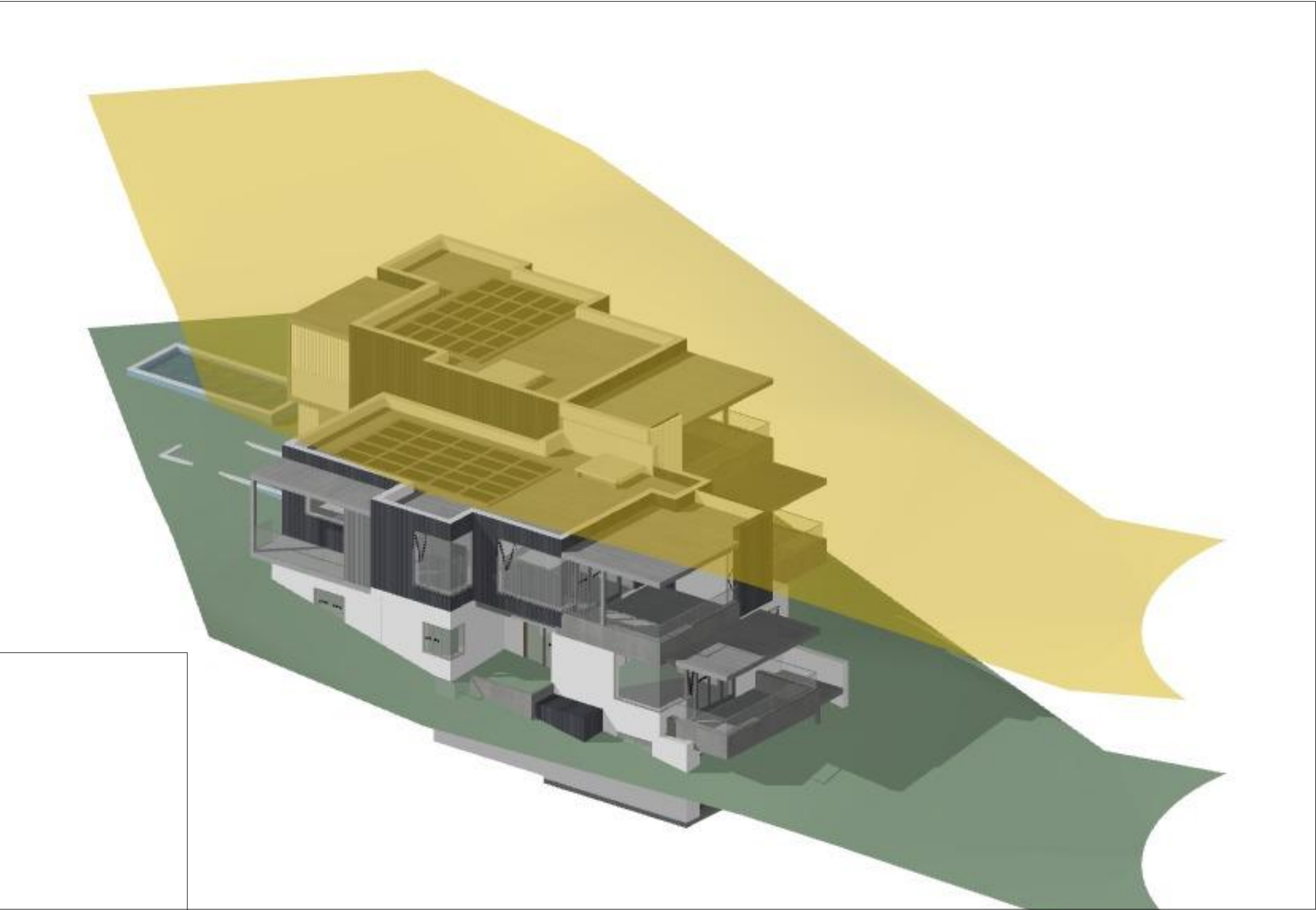
DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025			tim+sarah .k Building Designers Interior Designers * Post Office Box 298 Jamral NSW 2228 e: info@timsarahk.com.au w: www.timsarahk.com.au	SITE ADDRESS:		Lot 6, DP 222976	
				4 Leemon St, Condell Park 2200			
				CLIENT DETAILS:			
				Denise Darlow			
				SHEET NAME:			
				Erosion & Sediment Control Plan			
				SHEET NUMBER:			
				12			
				LGA:			
				Canterbury-Bankstown			
				REFERENCE:			
				LEE-505			
	DATE:	AMENDMENTS:					

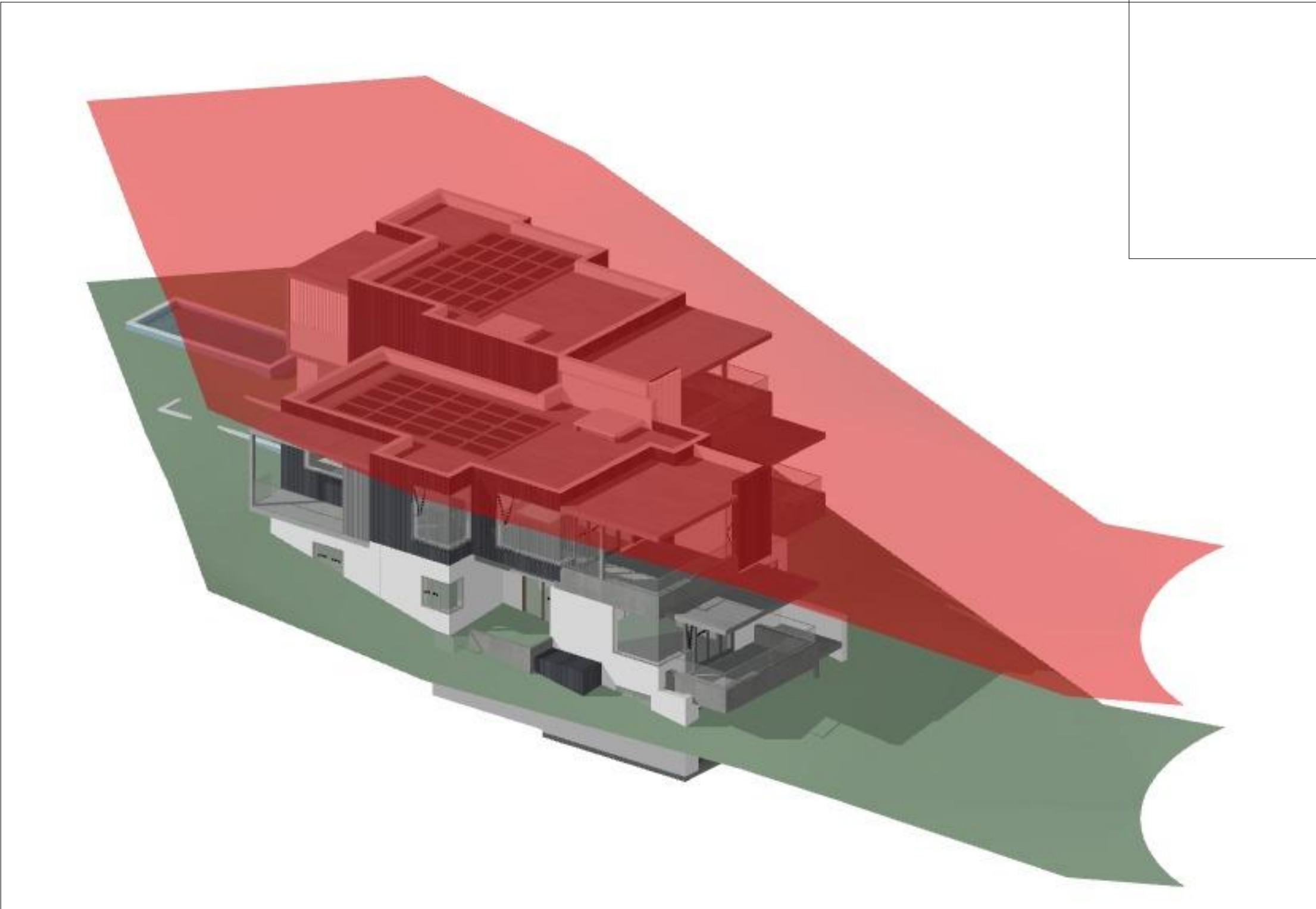


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ISSUE DATE: Mar 1, 2025			tim+sarah .k Building Designers Interior Designers 4/ Post Office Box 288 Leemans NSW 2225 ✉ info@timandsarah.com.au ✉ www.timandsarah.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200	
				CLIENT DETAILS: Denise Darlow	
				SHEET NAME: Shadow Diagrams (NTS) Jun 21	SHEET NUMBER: 13
				LGA: Canterbury-Bankstown	REFERENCE: LEE-505
				PROJECT: Proposed Dual Occupancy + Torrens Title Subdivision	
	DATE:	AMENDMENTS:			



HEIGHT OF BUILDING 9.0m



WALL HEIGHT 7.0m

DA ISSUE (A2)

ISSUE DATE: Mar 1, 2025			tim+sarah .k building designers interior designers 41 Peel Office Bldg 288 Leemore NSW 2225 E: info@timandsarah.com.au W: www.timandsarah.com.au	SITE ADDRESS: Lot 6, DP 222976 4 Leemon St, Condell Park 2200		
				CLIENT DETAILS: Denise Darlow		
				SHEET NAME: HOB & Wall Height	SHEET NUMBER: 14	
				LGA: Canterbury-Bankstown		
				REFERENCE: LEE-505		
	DATE:	AMENDMENTS:				